

TECHNICAL REVIEW COMMITTEE PLANS

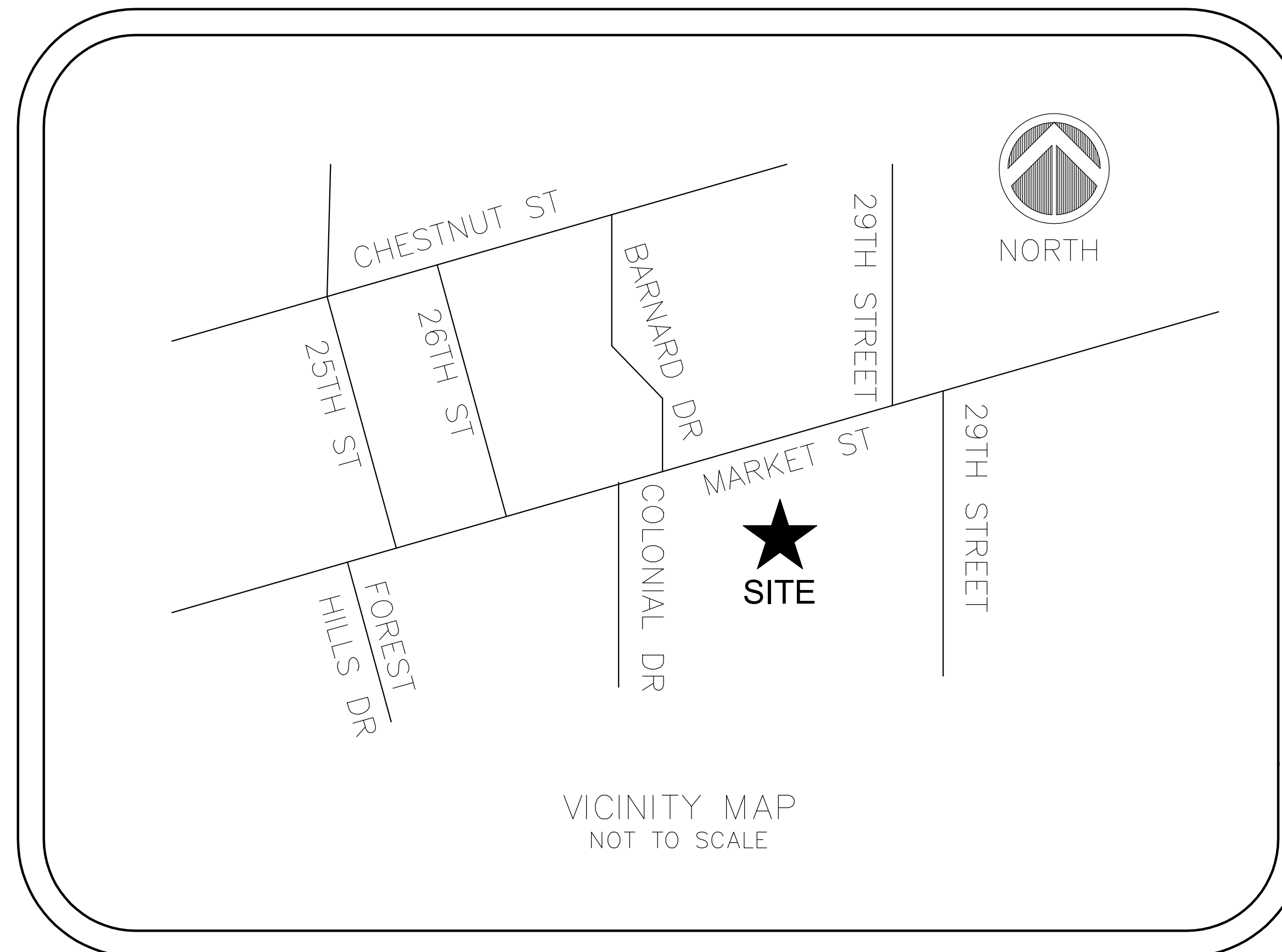
for

YMCA MARKET STREET EXPANSION

Wilmington, North Carolina

General Notes:

1. Prior to any clearing, grading, or construction activity, tree protection fencing will be installed around protected trees or groves of trees and no construction workers, materials, or vehicles are permitted within the tree protection fencing.
2. All pavement markings in public rights-of-way and for driveways are to be thermoplastic and meet City and/or NCDOT standards.
3. Once streets are open to traffic, contact Traffic Engineering to request installation of traffic and street name signs. Proposed street names must be approved prior to installation of street name signs.
4. Traffic control devices (including signs and pavement markings) in areas open to public traffic are to meet MUTCD (Manual on Uniform Traffic Control Devices) standards.
5. Contact Traffic Engineering at 341-7888 to ensure that all traffic signals facilities and equipment are shown on the plan. Add a note to call Traffic Engineering at 341-7888 forty-eight hours prior to any excavation in the right-of-way.
6. Any broken or missing sidewalk panels, driveway panels and curbing will be replaced.
7. Contact TRAFFIC ENGINEERING at 341-7888 to discuss street lighting options.
8. Project shall comply with the CFPWA Cross Connection Control requirements. Water meter(s) cannot be released until all requirements are met and the State has given their Final Approval. Call 332-6419 for information.
9. If the contractor desires CFPWA water for construction he shall apply in advance for this service and must provide a reduced pressure zone (RPZ) backflow prevention device on the developer's side of the water meter box.
10. Any irrigation system supplied by CFPWA water shall comply with the CFPWA's Connection Control regulations. Call 332-6419 for information.
11. Any backflow prevention devices required by the CFPWA will need to be on the list of approved devices for USCFCCHR or ASSE.
12. A Landscaping Plan indicating the location of required street trees shall be submitted to the City of Wilmington Traffic Engineering Division and the Parks and Recreation Department for review and approval prior to the recording of the final plat.
13. Permitting of business identification signage is a separate process. NCDOT/City of Wilmington will not allow obstructions within the right of way.
14. Prior to any clearing, grading or construction activity, tree protection fencing will be installed around protected trees or groves of trees and no construction workers, tools, materials or vehicles are permitted within the tree protection fencing.
15. All traffic control signs and markings off the right-of-way are to be maintained by the property owner in accordance with MUTCD standards.
16. Install reflectors per City and NCDOT standards. Traffic Engineering must approve of pavement marking layout prior to actual striping.
17. All parking stall markings and lane arrows within parking areas shall be white.



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GP-1	GRADING PLAN
DET-1	SITE DETAILS
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OWNER:
YMCA OF WILMINGTON
 2710 MARKET STREET
 WILMINGTON, NC 28402
 (910) 251-9622

ENGINEER:



Coastal Land Design, PLLC

Civil Engineering / Landscape Architecture
 Land Planning / Construction Management

NCBELS Firm License No: P-0369

P.O.Box 1172 Phone: 910-254-9333
 Wilmington, NC 28402 www.cldeng.com Fax: 910-254-0502

SURVEYOR:
ESP ASSOCIATES, P.A.
 211 RACINE DRIVE
 WILMINGTON, NC 28402
 (910) 313-6648

ISSUED FOR AGENCY
REVIEW ONLY

NOT RELEASED FOR
CONSTRUCTION

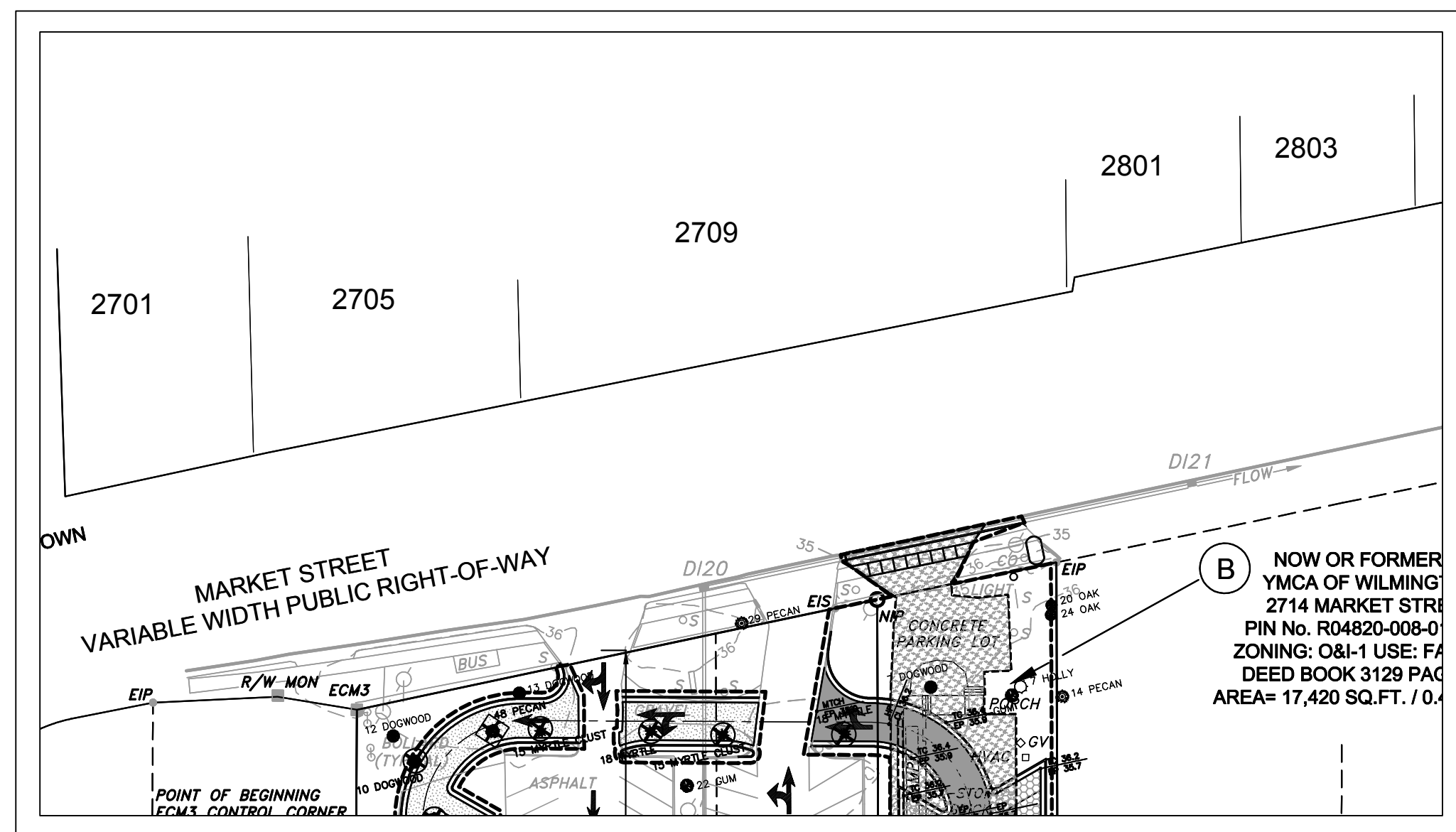
BEFORE YOU DIG, CALL



GROUND STABILIZATION REQUIREMENTS		
SITE AREA DESCRIPTION	STABILIZATION TIME FRAME	STABILIZATION TIME FRAME EXEMPTIONS
PERIMETER DIKES, SWALES, DITCHES AND SLOPES	7 DAYS	NONE
HIGH QUALITY WATER (HQW) ZONES	7 DAYS	NONE
SLOPES STEEPER THAN 3:1	7 DAYS	IF SLOPES ARE 10' OR LESS IN LENGTH AND ARE NOT STEEPER THAN 2:1, 14 DAYS ARE ALLOWED.
SLOPES 3:1 OR FLATTER	14 DAYS	7 DAYS FOR SLOPES GREATER THAN 50 FEET IN LENGTH
ALL OTHER AREAS WITH SLOPES FLATTER THAN 4:1	14 DAYS	NONE (EXCEPT FOR PERIMETERS AND HQW ZONES)

Lot	Owner	Parcel ID	Deed Book and Page	Zoning	LAND USE
2B	BRILLHART DAVID N	R04820-008-015-000	DB1961 PG0316	R-15	RESIDENTIAL
3B	WEBB DAVID P CHARLOTTE K	R04820-008-017-000	DB3620 PG0488	R-15	RESIDENTIAL
4B	WEBB DAVID P CHARLOTTE K	R04820-008-018-000	DB2533 PG0345	R-15	RESIDENTIAL
5B	BOYLE JUDITH M	R04820-008-019-000	DB2061 PG0078	R-15	RESIDENTIAL
6B	SAGAT STEVEN M	R04820-008-020-000	DB5635 PG1179	R-15	RESIDENTIAL
7B	COADY ROSE ELIZABETH	R04820-008-021-000	DB5911 PG1553	R-15	RESIDENTIAL
8B	CONRAD JANICE H REVOCABLE TRUST	R04820-008-022-000	DB5764 PG2426	R-15	RESIDENTIAL
9B	FEIN SANDOR D COLETTE M	R04820-008-023-000	DB4924 PG430	R-15	RESIDENTIAL
10B	MCCUMBER JAMES B II ELIZABETH	R04820-008-024-000	DB2370 PG0038	R-15	RESIDENTIAL
11B	SCHMIDT KIRK A JAYCE E	R04820-008-025-000	DB3018 PG0187	R-15	RESIDENTIAL
12B	BOERSMA JESS M CAROLINE J SCORZA	R04820-008-026-000	DB5297 PG1326	R-15	RESIDENTIAL
13B	VEST KENNETH M SUE K	R04820-008-027-000	DB5908 PG0457	R-15	RESIDENTIAL
11	FURR LOIS P ETAL	R04820-008-040-000	DB5601 PG2223	R-15	RESIDENTIAL
12	PHILLIPS JAMES M DEBORAH F	R04820-008-041-000	DB5334 PG2534	R-15	RESIDENTIAL
13	WELLS FARGO BANK NA	R04820-008-042-000	DB6000 PG0775	R-15	RESIDENTIAL
14	FLYNN SUSAN H	R04820-008-043-000	DB9909 PG2610	R-15	RESIDENTIAL
15	BLAIR DWIGHT I MELISSA M	R04820-008-044-000	DB5881 PG1730	R-15	RESIDENTIAL
OCTAVIA	OCTAVIA HOMEOWNERS ASSOC INC	R04820-008-055-000	DB4611 PG0803	O&I-1	RESIDENTIAL

ADJACENT PROPERTY OWNERS



MARKET STREET #	OWNER	PIN #	ZONING	LAND USE
2701	ROBERT & SUSAN BROWING	R04820-006-001	R-10	RESIDENTIAL
2705	WALLACE BROS II LLC	R04820-006-002	O&I	RETAIL
2709	MARKET STREET CENTRAL LLC	R04820-006-003	O&I	OFFICE
2801	BEBE SAFFO ETAL	R04820-006-004	O&I	RESIDENTIAL
2803	GALLOPING MANAGEMENT LLC	R04820-006-004-001	O&I	COMMERCIAL

PROPERTY OWNERS ACROSS MARKET STREETS

EXISTING UTILITY INVENTORY

SSMH1 TOP= 35.73 IN= 33.24 (4" PVC) IN= 31.96 (8" CLAY) IN= 31.97 (4" CLAY) OUT= 31.49 (8" CLAY)	DI1 TOP= 27.95 OUT= 25.01 (12" RCP)	MH1 TOP= 28.92 OUT= 25.34 (30" RCP)
SSMH2 TOP= 35.55 IN= 30.17 (8" CLAY) OUT= 30.02 (8" CLAY)	DI2 TOP= 27.42 OUT= 23.53 (30" RCP)	MH2 TOP= 28.58 IN= 24.98 (12" RCP) IN= 24.57 (30" RCP) OUT= 24.49 (30" RCP)
SSMH3 TOP= 27.39 IN= 24.24 (6" PVC) OUT= 24.15 (6" PVC)	DI3 TOP= 26.92 IN= 24.70 (6" PVC) OUT= 24.19 (12" RCP)	MH3 TOP= 27.35 IN= 23.59 (30" RCP) IN= 23.59 (30" RCP) OUT= 23.54 (24" RCP)
SSMH4 TOP= 27.01 IN= 23.96 (6" PVC) OUT= 23.92 (6" PVC)	DI4 TOP= 27.36 OUT= 25.69 (10" RCP)	MH4 TOP= 27.06 IN= 23.53 (24" RCP) IN= 24.12 (12" RCP) OUT= 23.46 (24" RCP)
SSMH5 TOP= 27.03 IN= 22.96 (6" PVC) OUT= 22.89 (6" PVC)	DI5 TOP= 27.71 OUT= 24.89 (12" RCP)	MH5 TOP= 27.10 IN= 23.34 (18" RCP) IN= 24.61 (10" RCP) OUT= 23.31 (18" RCP)
SSMH6 TOP= 25.82 IN= 21.79 (6" PVC) OUT= 21.90 (6" PVC)	DI6 TOP= 27.19 OUT= 22.84 (12" RCP)	MH6 TOP= 26.93 IN= 22.71 (24" RCP) IN= 22.73 (18" RCP) IN= 22.77 (12" RCP) OUT= 22.65 (24" RCP)
	DI7 TOP= 27.15 OUT= 24.06 (15" RCP)	MH7 TOP= 26.96 IN= 22.67 (18" RCP) IN= 22.60 (18" RCP) IN= 23.86 (15" RCP) OUT= 22.50 (18" RCP)
	DI8 TOP= 25.97 OUT= 23.97 (12" RCP)	MH8 TOP= 26.87 IN= 22.64 (24" RCP) OUT= 22.60 (24" RCP)
	DI9 TOP= 26.48 IN= 23.23 (18" RCP) OUT= 23.22 (18" RCP)	MH9 TOP= 26.04 IN= 21.54 (24" RCP) IN= 23.20 (15" RCP) OUT= 21.37 (24" RCP)
	DI10 TOP= 26.43 OUT= 23.56 (15" RCP)	MH10 TOP= 27.75 IN= 23.59 (12" RCP) IN= 23.27 (18" RCP) OUT= 23.25 (18" RCP)
	DI11 TOP= 33.47 IN= 31.50 (6" MP) OUT= 31.14 (12" RCP)	MH11 TOP= 26.26 IN= 21.57 (18" RCP) IN= 22.76 (18" RCP) OUT= 21.46 (18" RCP)
	DI12 TOP= 32.73 IN= 28.22 (18" RCP) OUT= 28.05 (18" RCP)	MH12 TOP= 25.02 IN= 21.79 (18" RCP)
	DI13 TOP= 30.56 IN= 29.17 (6" PVC) IN= 28.63 (6" PVC) IN= 28.77 (12" RCP) OUT= 28.49 (18" RCP)	MH13 TOP= 27.75 IN= 23.59 (12" RCP) IN= 23.27 (18" RCP) OUT= 23.25 (18" RCP)
	DI14 TOP= 35.19 IN= 33.49 (6" PVC) IN= 33.43 (6" PVC) IN= 33.67 (6" PVC) OUT= 33.36 (8" PVC)	MH14 TOP= 26.26 IN= 21.57 (18" RCP) IN= 22.76 (18" RCP) OUT= 21.46 (18" RCP)
	DI15 TOP= 33.97 OUT= 32.18 (8" PVC)	MH15 TOP= 25.02 IN= 21.79 (18" RCP)
	DI16 TOP= 34.43 IN= 32.55 (15" RCP) OUT= 32.44 (15" RCP)	MH16 TOP= 24.81 IN= 19.48 (24" RCP)
	DI17 FULL OF DEBRIS TOP= 34.16 OUT= (15" RCP)	MH17 TOP= 34.61 IN= 31.87 (15" RCP) IN= 31.77 (8" PVC) OUT= 31.69 (12" RCP)
	DI18 TOP= 34.31 OUT= 32.42 (12" RCP)	
	DI19 TOP= 34.34 OUT= 32.39 (12" RCP)	
	DI20 TOP= 35.35 IN= 30.43 (15" RCP) OUT= 30.14 (15" RCP)	
	DI21 TOP= 33.61 IN= 28.57 (15" RCP)	

EXISTING IMPERVIOUS AREA	
BUILDINGS:	51,115 SF
ASPH PARKING:	104,540 SF
SIDEWALK:	4,525 SF
CONCRETE:	4,010 SF
TOTAL BUA:	164,190 SF
% BUA:	33.21%

DEMOLISHED IMPERVIOUS AREA	
BUILDINGS:	2,360 SF
ASPH PARKING:	14,465 SF
SIDEWALK:	295 SF
CONCRETE:	580 SF
TOTAL:	17,700 SF

NEW IMPERVIOUS AREA	
BUILDING:	3,765 SF
ASPH PARKING:	8,022 SF
PERV PARKING:	1,838 SF
(25% OF 7,350 SF)	
SIDEWALK:	1,310 SF
CONCRETE:	1,621 SF
TOTAL:	16,556 SF

FINAL IMPERVIOUS AREA	
BUILDINGS:	54,880 SF
ASPH PARKING:	104,050 SF
PERV PARKING:	1,838 SF
(25% OF 7,350 SF)	
SIDEWALK:	5,485 SF
CONCRETE:	5,235 SF
TOTAL:	171,488 SF
% BUA:	34.69%

IMPERVIOUS INCREASE: 7,298 SF

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

WILMINGTON
NORTH CAROLINA
Public Service Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN
Date: _____ Permit # _____
Signed: _____

WILMINGTON
NORTH CAROLINA
Approved Construction Plan
Name _____ Date _____
Planning _____
Traffic _____
Fire _____

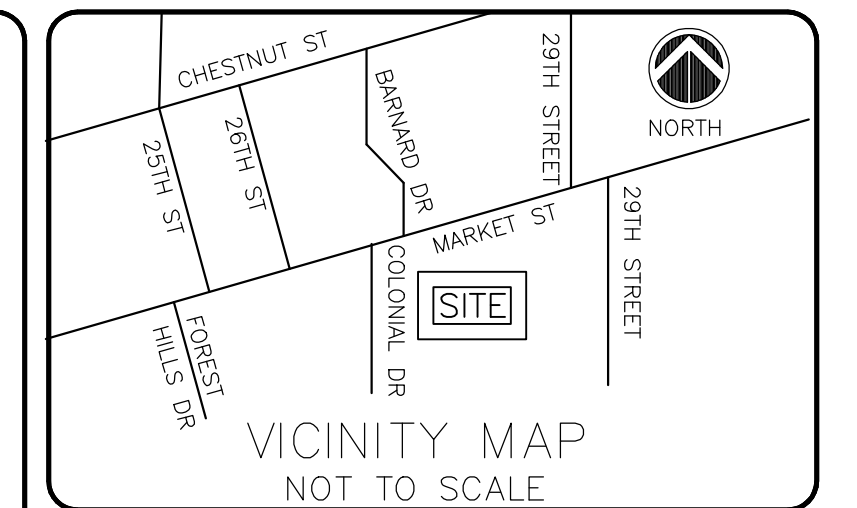
GENERAL NOTES:

- CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL EXISTING UTILITIES, ABOVE AND BELOW GROUND, PRIOR TO CONSTRUCTION.
- SURVEY AND TOPOGRAPHICAL INFORMATION AS SHOWN ON THESE PLANS HAVE BEEN PROVIDED BY ESP AND ASSOCIATES, WILMINGTON, NC.
- NO WETLANDS ON-SITE.
- CONTRACTOR IS RESPONSIBLE FOR DISPOSAL OF ALL WASTE MATERIALS GENERATED THROUGH DEMOLITION AND GRUBBING ACTIVITIES.
- THE TOTAL DISTURBANCE FOR THE WORK SHOWN IN THIS PLAN IS APPROXIMATELY 1.75 ACRES.
- ALL SITE GRADING AND PIPING TO PROVIDE POSITIVE DRAINAGE.

ISSUED FOR AGENCY REVIEW ONLY

NOT RELEASED FOR CONSTRUCTION

BEFORE YOU DIG, CALL
North Carolina 811
www.nc811.org



LEGEND:

REV. #	DESCRIPTION	REV. BY	DATE
	REVISIONS		

OWNER:
Y.M.C.A. OF WILMINGTON
2710 MARKET STREET
WILMINGTON, NC 28402

Coastal Land Design, PLLC
Civil Engineering / Landscape Architecture
Land Planning / Construction Management
NCBELS Firm License No: P-0369
P.O. Box 1172
Wilmington, NC 28402 www.cldeng.com Phone: 910-254-6533 Fax: 910-254-0564

DRAWN :	R LEWIS	PROJECT	130-00
DESIGN :	J CARMINE	NUMBER :	
CHECK :	F BRAXTON	SCALE :	NTS
APPROVED :	J PETROFF	DATE :	29 NOV 2016
FILE NAME :			

YMCA
MARKET STREET

GENERAL NOTES



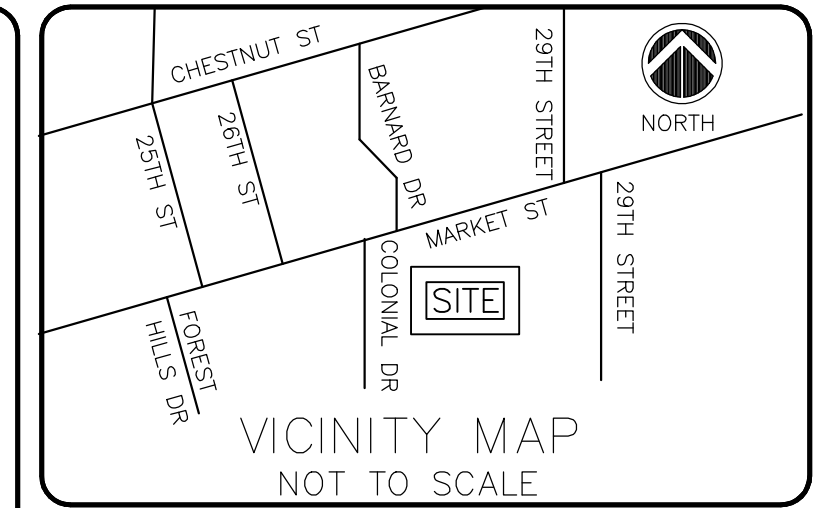
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Public Services Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN
Date: _____ Permit # _____
Signed: _____

CITY OF WILMINGTON
NORTH CAROLINA
Approved Construction Plan
Name _____ Date _____
Planning _____
Traffic _____
Fire _____



LEGEND:

REV. #	DESCRIPTION	REV. BY DATE

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Y.M.C.A. OF WILMINGTON
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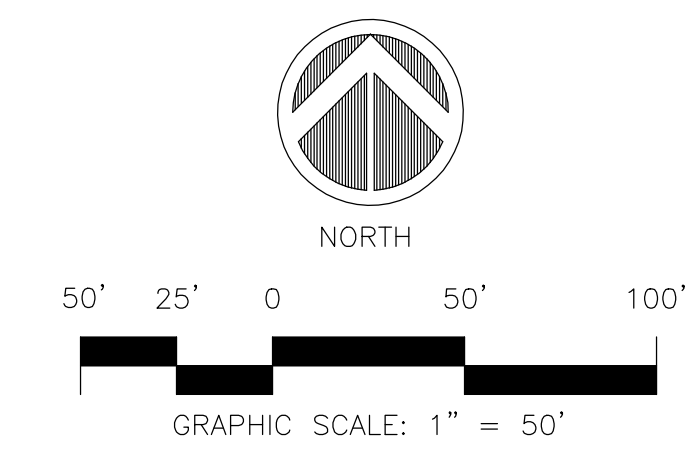
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P.O. Box 1172
Wilmington, NC 28402
www.cldeng.com
Phone: 910-254-9333
Fax: 910-254-0504

DRAWN : R LEWIS	PROJECT : 130-00
DESIGN : J CARMINE	NUMBER :
CHECK : F BRAXTON	SCALE : 1"=50'
APPROVED : J PETROFF	DATE : 29 NOV 2016
FILE NAME :	

YMCA MARKET STREET

EXISTING SITE PLAN

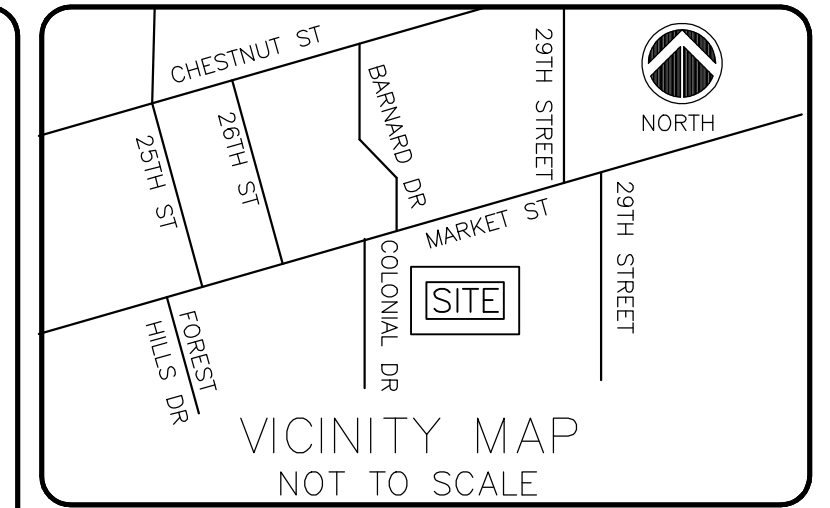
JOB NUMBER 130-00	SHEET NUMBER XP-1
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North Carolina 811
www.nc811.org



LEGEND:

- DEMOLISHED STRUCTURE OR PAVEMENT
- REMOVED TREES
- MITIGATED TREES

For each open utility cut of City streets, a #325 permit shall be required from the City prior to occupancy and/or project acceptance.

DEMOLISHED IMPERVIOUS AREA BUILDINGS:	2,360 SF
PARKING:	14,465 SF
SIDEWALK:	295 SF
CONCRETE:	580 SF
TOTAL:	17,700 SF

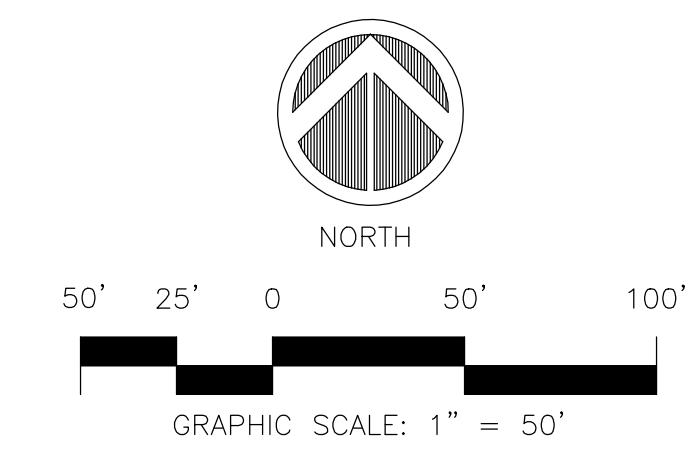
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NORTH CAROLINA
Public Service Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN
Date: _____ Permit # _____
Signed: _____

CITY OF WILMINGTON
NORTH CAROLINA
Approved Construction Plan
Name _____ Date _____
Planning _____
Traffic _____
Fire _____

REV. #	DESCRIPTION	REV. BY	DATE
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OWNER:
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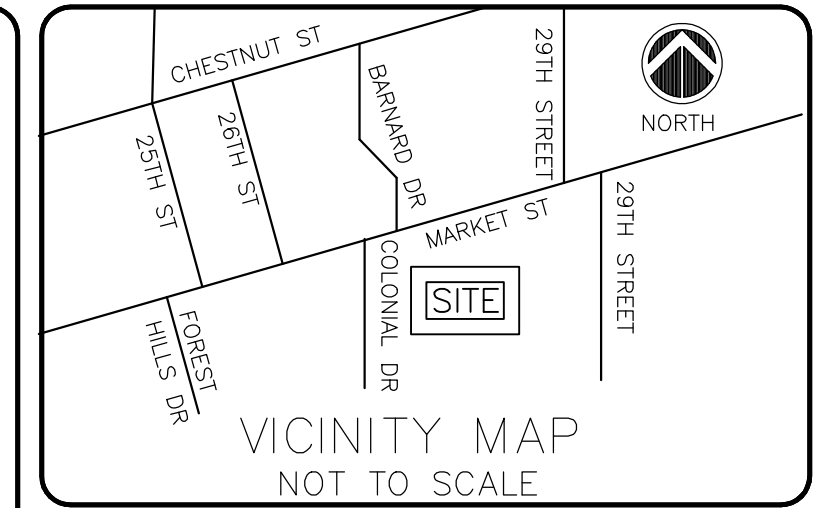
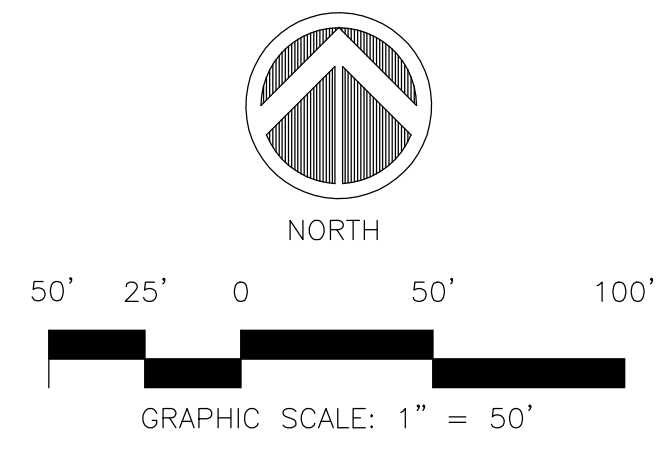
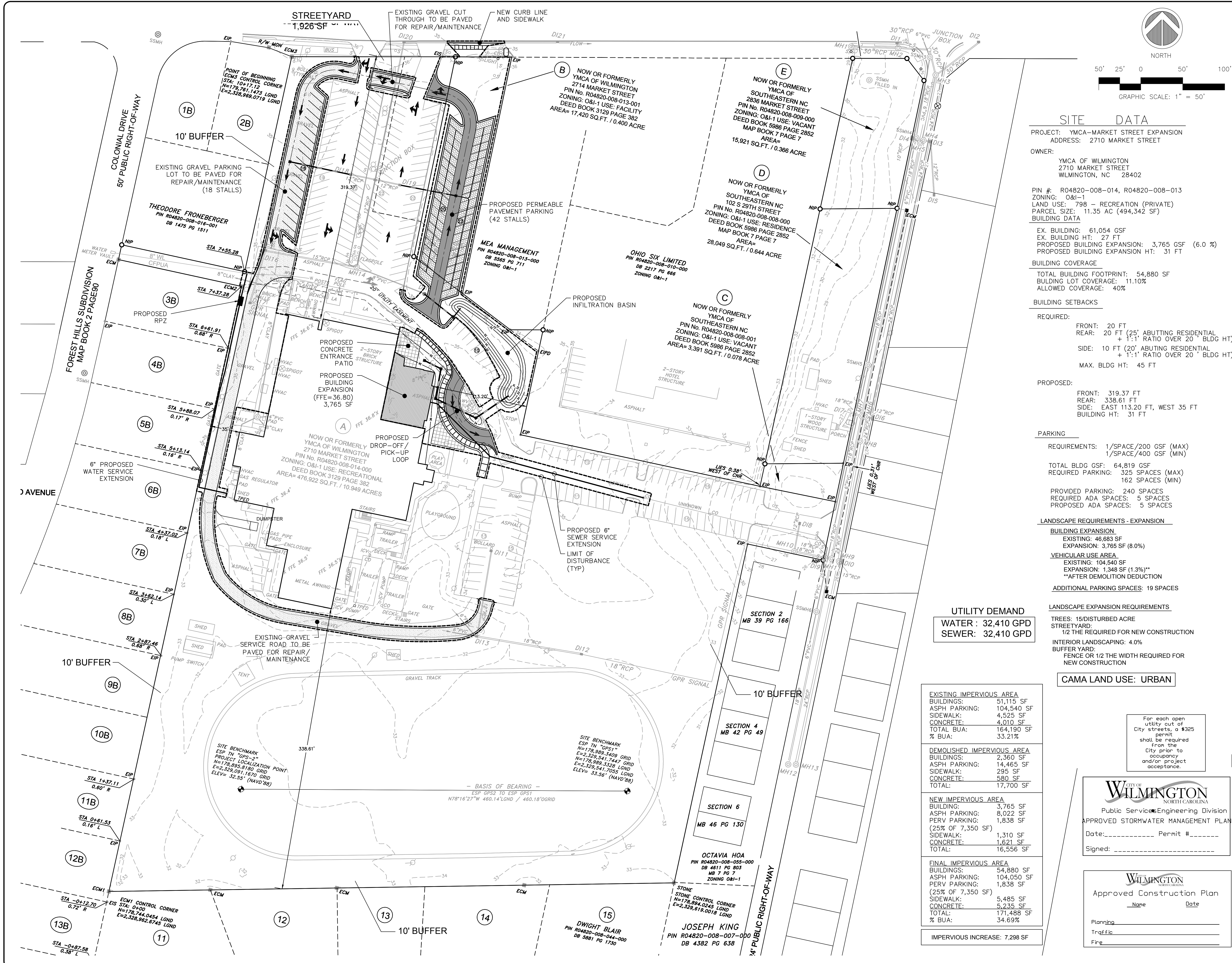
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YMCA MARKET STREET

PROPOSED DEMOLITION PLAN

JOB NUMBER 130-00	SHEET NUMBER DP-1
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SITE DATA

PROJECT: YMCA-MARKET STREET EXPANSION
 ADDRESS: 2710 MARKET STREET

OWNER:
 YMCA OF WILMINGTON
 2710 MARKET STREET
 WILMINGTON, NC 28402

PIN #: R04820-008-014, R04820-008-013
 ZONING: O&I-1
 LAND USE: 798 - RECREATION (PRIVATE)
 PARCEL SIZE: 11.35 AC (494,342 SF)
 BUILDING DATA
 EX. BUILDING: 61,054 GSF
 EX. BUILDING HT: 27 FT
 PROPOSED BUILDING EXPANSION: 3,765 GSF (6.0%)
 PROPOSED BUILDING EXPANSION HT: 31 FT

BUILDING COVERAGE
 TOTAL BUILDING FOOTPRINT: 54,880 SF
 BUILDING LOT COVERAGE: 11.10%
 ALLOWED COVERAGE: 40%

BUILDING SETBACKS
 REQUIRED:
 FRONT: 20 FT
 REAR: 20 FT (25' ABUTTING RESIDENTIAL + 1:1 RATIO OVER 20' BLDG HT)
 SIDE: 10 FT (20' ABUTTING RESIDENTIAL + 1:1 RATIO OVER 20' BLDG HT)
 MAX. BLDG HT: 45 FT

PROPOSED:
 FRONT: 319.37 FT
 REAR: 338.61 FT
 SIDE: EAST 113.20 FT, WEST 35 FT
 BUILDING HT: 31 FT

PARKING

REQUIREMENTS: 1/SPACE/200 GSF (MAX)
 1/SPACE/400 GSF (MIN)

TOTAL BLDG GSF: 64,819 GSF
 REQUIRED PARKING: 325 SPACES (MAX)
 162 SPACES (MIN)

PROVIDED PARKING: 240 SPACES
 REQUIRED ADA SPACES: 5 SPACES
 PROPOSED ADA SPACES: 5 SPACES

LANDSCAPE REQUIREMENTS - EXPANSION

BUILDING EXPANSION
 EXISTING: 46,683 SF
 EXPANSION: 3,765 SF (8.0%)

VEHICULAR USE AREA
 EXISTING: 104,540 SF
 EXPANSION: 1,348 SF (1.3%)*
 **AFTER DEMOLITION DEDUCTION

ADDITIONAL PARKING SPACES: 19 SPACES

LANDSCAPE EXPANSION REQUIREMENTS
 TREES: 15/DISTURBED ACRE
 STREETYARD: 1/2 THE REQUIRED FOR NEW CONSTRUCTION
 INTERIOR LANDSCAPING: 4.0%
 BUFFER YARD:
 FENCE OR 1/2 THE WIDTH REQUIRED FOR NEW CONSTRUCTION

CAMA LAND USE: URBAN

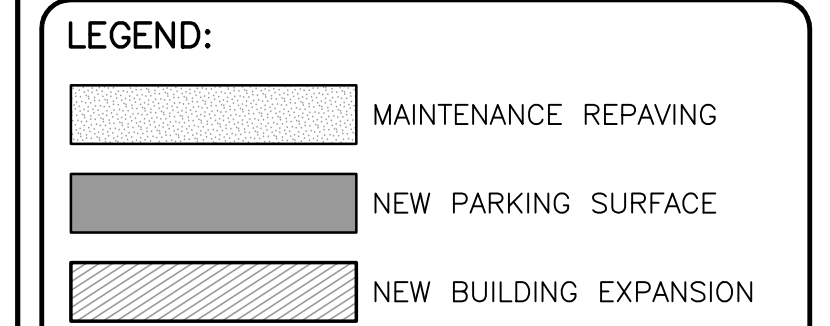
UTILITY DEMAND
 WATER : 32,410 GPD
 SEWER: 32,410 GPD

EXISTING IMPERVIOUS AREA	
BUILDINGS:	51,115 SF
ASPH PARKING:	104,540 SF
SIDEWALK:	4,525 SF
CONCRETE:	4,010 SF
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DEMOLISHED IMPERVIOUS AREA	
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NEW IMPERVIOUS AREA	
BUILDING:	3,765 SF
ASPH PARKING:	8,022 SF
PERV PARKING:	1,838 SF
(25% OF 7,350 SF)	
SIDEWALK:	1,310 SF
CONCRETE:	1,621 SF
TOTAL:	16,556 SF
FINAL IMPERVIOUS AREA	
BUILDINGS:	54,880 SF
ASPH PARKING:	104,050 SF
PERV PARKING:	1,838 SF
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TOTAL:	171,488 SF
% BUA:	34.69%
IMPERVIOUS INCREASE: 7,298 SF	

For each open utility out of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

WILMINGTON
 NORTH CAROLINA
 Public Service Engineering Division
 APPROVED STORMWATER MANAGEMENT PLAN
 Date: _____ Permit # _____
 Signed: _____

WILMINGTON
 Approved Construction Plan
 Name _____ Date _____
 Planning _____
 Traffic _____
 Fire _____



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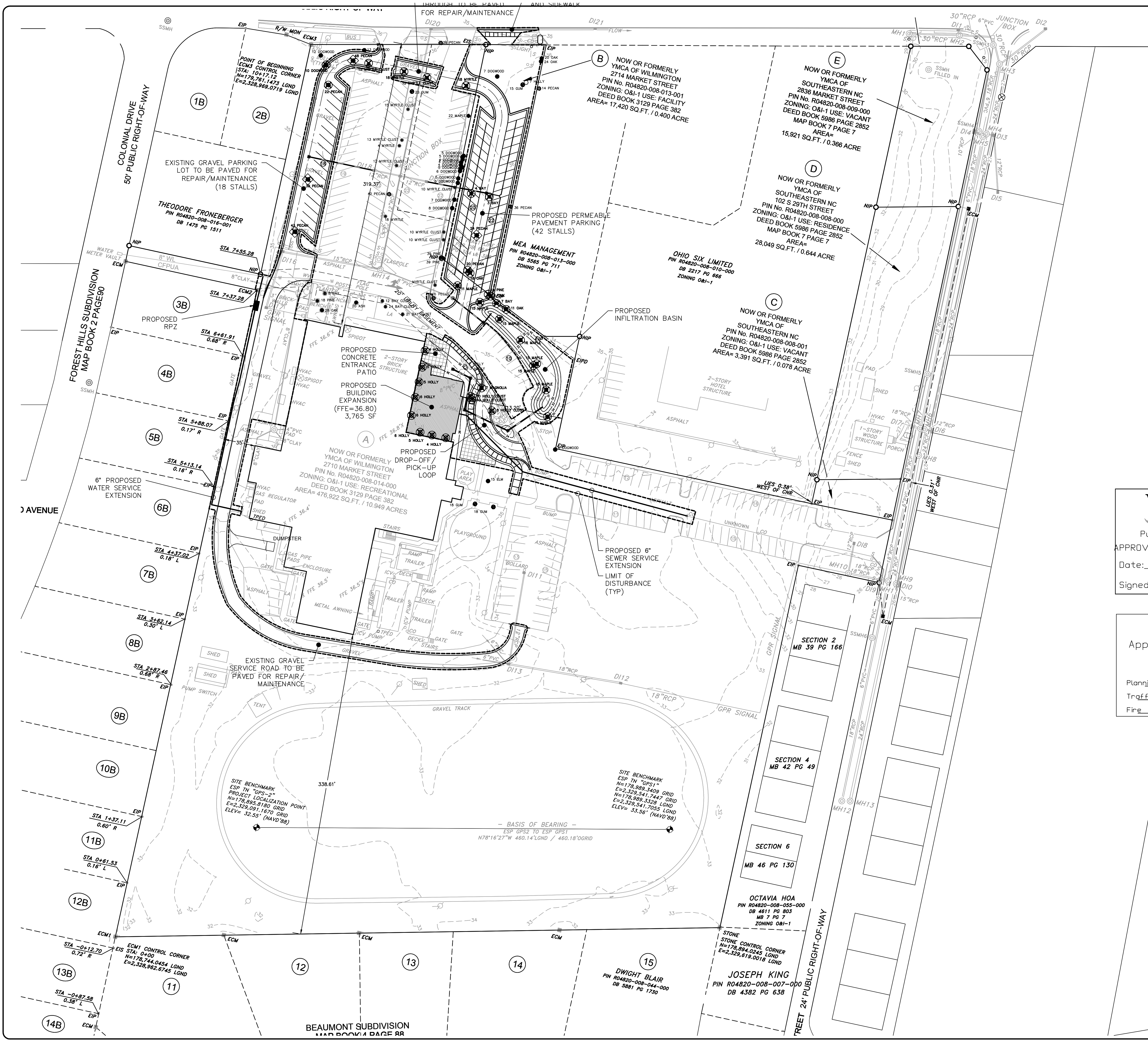
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DRAWN : R LEWIS	PROJECT : 130-00
DESIGN : J CARMINE	NUMBER : _____
CHECK : F BRAXTON	SCALE : 1"=50'
APPROVED : J PETROFF	DATE : 29 NOV 2016
FILE NAME :	

YMCA MARKET STREET

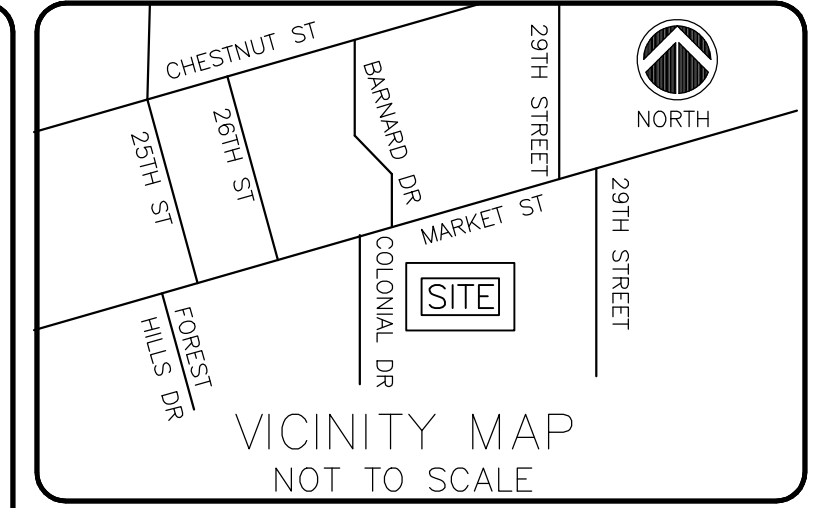
PROPOSED SITE AND UTILITY PLAN



- GUM
- PECAN
- HOLLY
- MAGNOLIA
- OAK
- MAPLE
- PINE
- MYRTLE
- BAY

LEGEND:

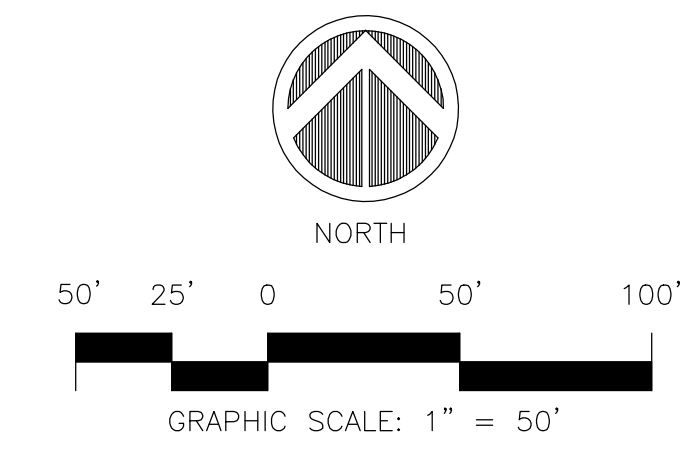
- MAINTENANCE REPAVING
- NEW PARKING SURFACE
- NEW BUILDING EXPANSION
- REMOVED TREES
- MITIGATED TREES



For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

WILMINGTON
NORTH CAROLINA
Public Services Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN
Date: _____ Permit # _____
Signed: _____

WILMINGTON
NORTH CAROLINA
Approved Construction Plan
Name _____ Date _____
Planning _____
Traffic _____
Fire _____



ISSUED FOR AGENCY REVIEW ONLY

NOT RELEASED FOR CONSTRUCTION

BEFORE YOU DIG, CALL
North Carolina 811
www.nc811.org

REV. #	DESCRIPTION	REV. BY	DATE

OWNER:
Y.M.C.A. OF WILMINGTON
2710 MARKET STREET
WILMINGTON, NC 28402

Coastal Land Design, PLLC
Civil Engineering / Landscape Architecture
Land Planning / Construction Management
NCBELS Firm License No: P-0269
P.O. Box 1172
Wilmington, NC 28402 www.cldng.com Phone: 910-254-6333 Fax: 910-254-6502

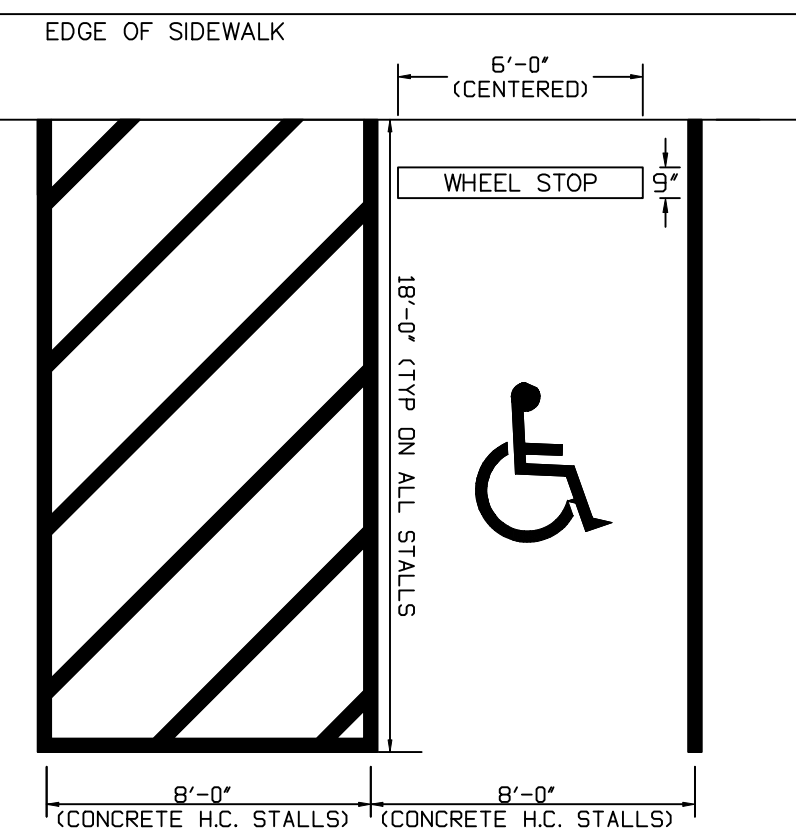
DRAWN : R LEWIS	PROJECT : 130-00
DESIGN : J CARMINE	NUMBER : 130-00
CHECK : F BRAXTON	SCALE : 1"=50'
APPROVED : J PETROFF	DATE : 29 NOV 2016
FILE NAME :	

YMCA MARKET STREET

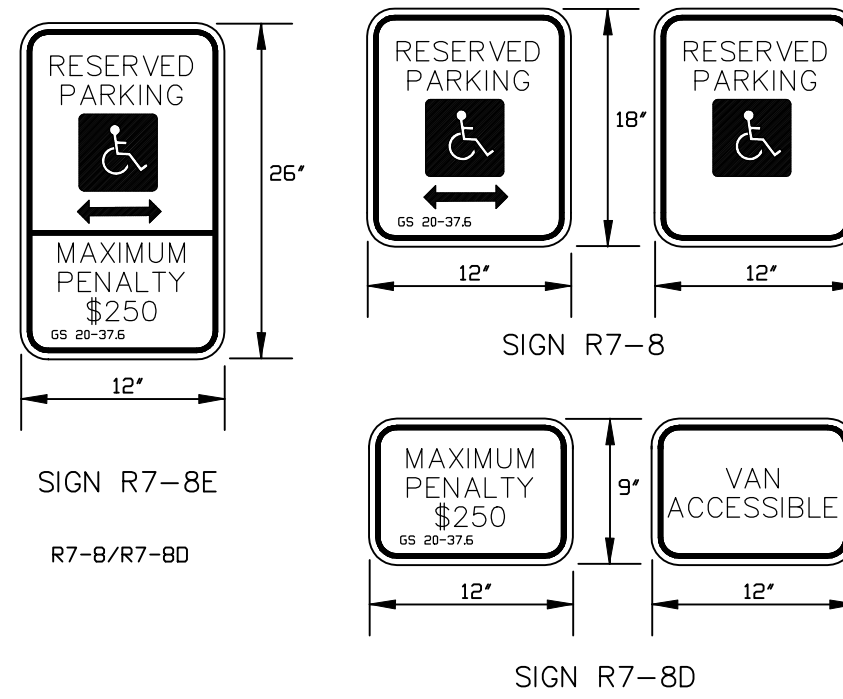
PROPOSED SITE AND TREE REMOVAL PLAN

JOB NUMBER 130-00	SHEET NUMBER SP-2
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NOTE:
ALL SIGNAGE AND PAVEMENT MARKINGS MUST COMPLY WITH THE MANUAL FOR UNIFORM TRAFFIC CONTROL DEVICES (MUTCD)
NOTE:
ALL STRIPING TO BE PER CITY OF WILMINGTON SPECIFICATION



VAN ACCESS AND PARKING STALL DETAIL
NOT TO SCALE



HANDICAPPED SIGN DETAIL
NOT TO SCALE

PERMEABLE PAVEMENT
ACTIVITIES PROHIBITED:
SANDING
RE-SEALING
RE-SURFACING
POWER WASHING
STORAGE OF MULCH OR SOIL
STORAGE OF SNOW PILES
STORAGE OF HEAVY LOADS
APPLICATION OF SALT OR DE-ICERS

PERMEABLE PAVEMENT SIGNAGE
NOT TO SCALE

PERVIOUS PAVEMENT NOTES:

- Washed aggregate base materials shall be used.
- In HSG B, C and D, the surface of the soil subgrade under infiltrating permeable pavement should be scarified, ripped or trenched immediately prior to aggregate base placement to maintain the pre-construction subgrade infiltration rate.
- Runoff from adjoining pervious areas, such as grassed slopes and landscaping, shall be prevented by grading the landscape away from the permeable pavement.
- Permeable pavement shall not be installed until the upslope and adjoining areas are stabilized. After installations, barriers shall be installed to prevent construction traffic from driving on the pavement.
- The soil subgrade for the permeable pavement shall be graded when dry. The aggregate base and permeable surface course should be completed as quickly as possible to reduce risk of soil subgrade compaction.
- Permeable pavement may be placed on fill material as long as the material is at least as permeable as the in-situ soil after it is placed and prepared. Fill material comprised of HSG A or B shall not be placed on top of an in-situ HSG C or D to receive additional BUA credit.

PERVIOUS PAVEMENT MAINTENANCE:

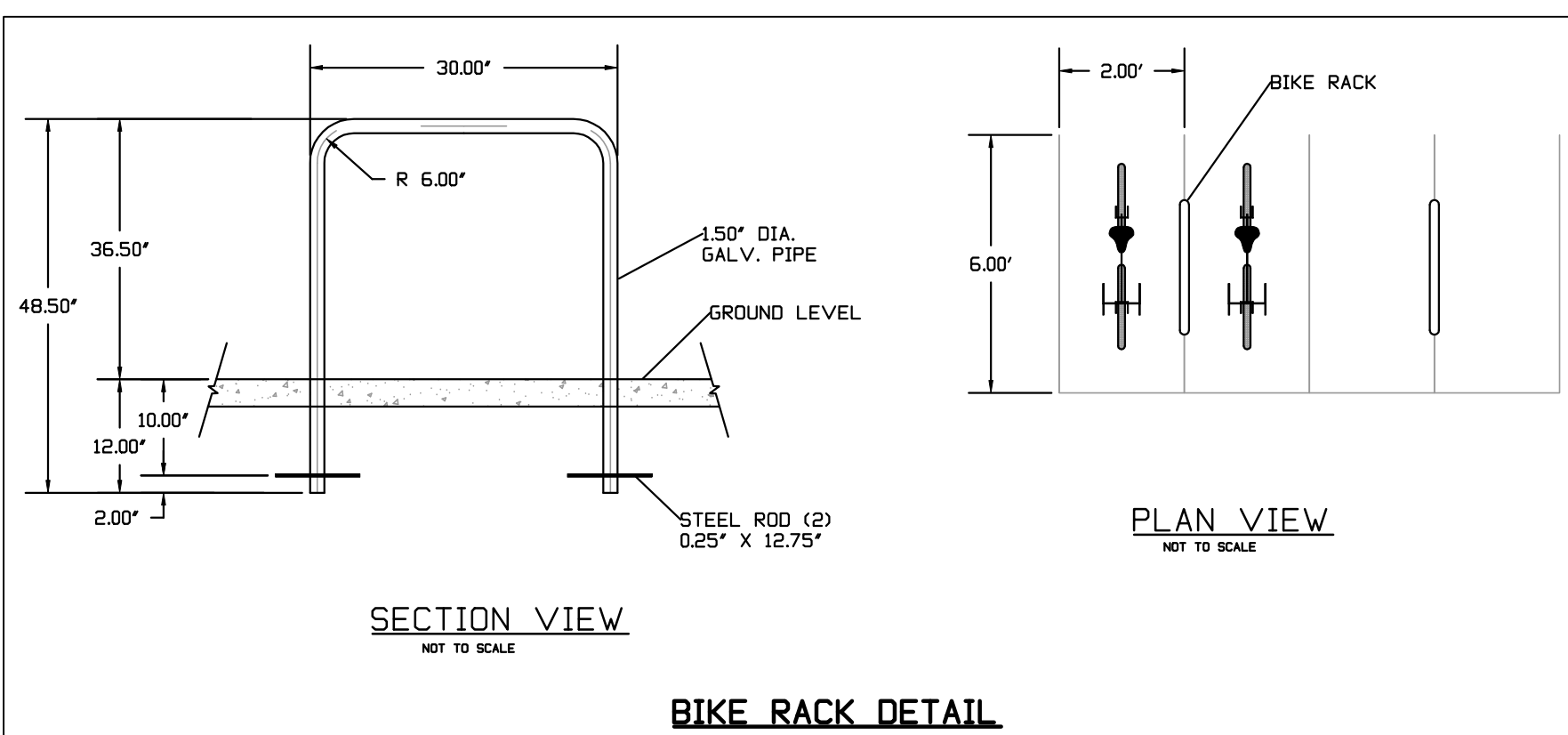
After permeable pavement is constructed, it shall be inspected once a quarter. The inspector shall check each BMP component and address any deficiencies in accordance with Table 18-4 below.

At all times, the pavement shall be kept free of:

- Debris and particulate matter through frequent blowing that removes such debris, particularly during the fall and spring.
- Piles of soil, sand, mulch, building materials or other materials that could deposit particulates on the pavement.
- Piles of snow and ice.
- Chemicals of all kinds, including deicers.

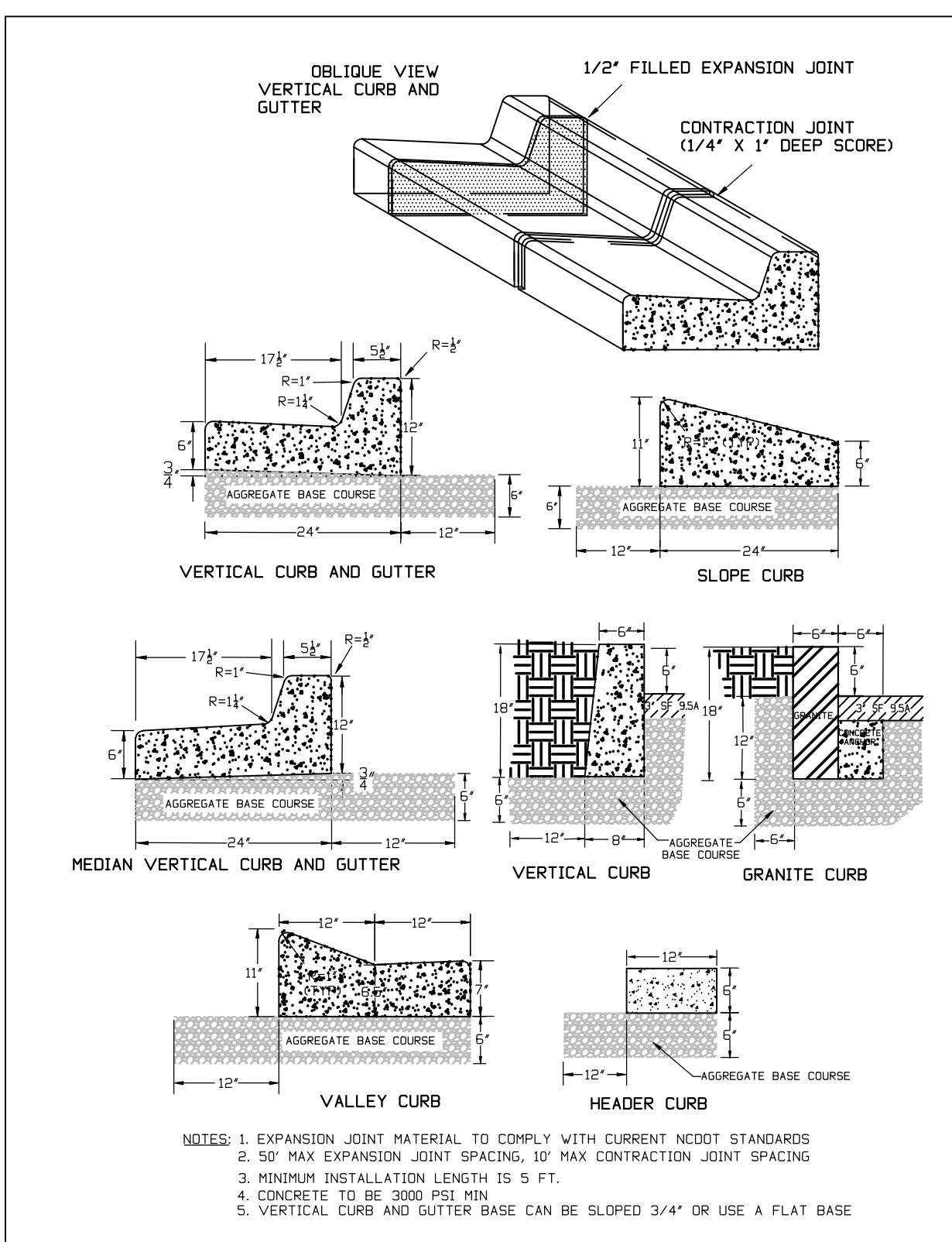
Important inspection and maintenance procedures:

- Stable groundcover will be maintained in the drainage area to reduce the sediment load to the permeable pavement.
- The area around the perimeter of the permeable pavement will be stabilized and mowed, with clippings removed.
- Any weeds that grow in the permeable pavement will be sprayed with pesticide immediately. Weeds will not be pulled, since this could damage the fill media.
- Once a year, the permeable pavement surface will be vacuum swept.

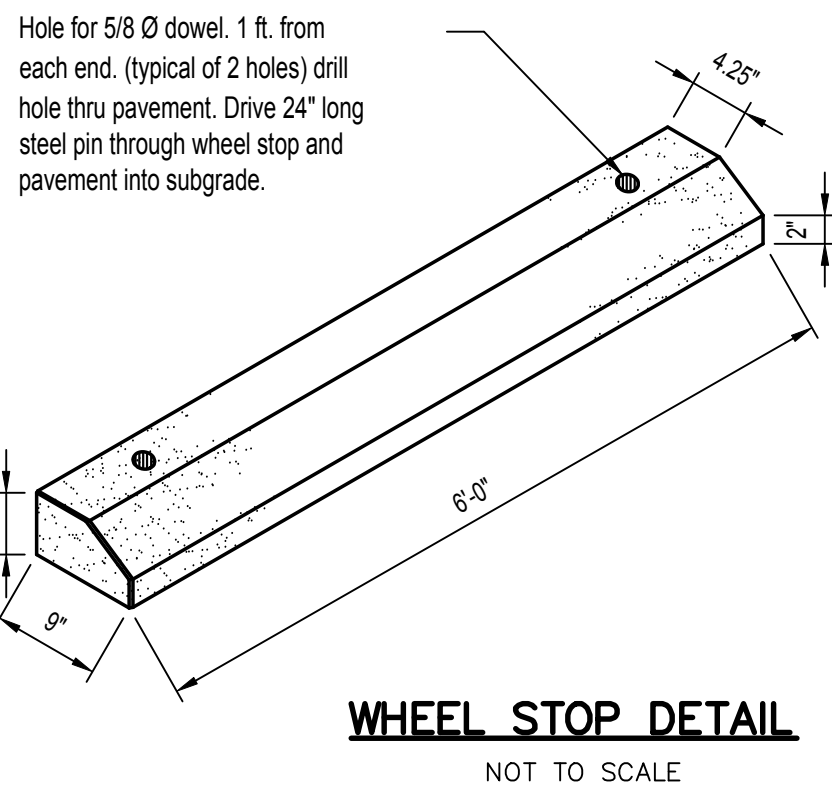


BIKE RACK DETAIL
NOT TO SCALE

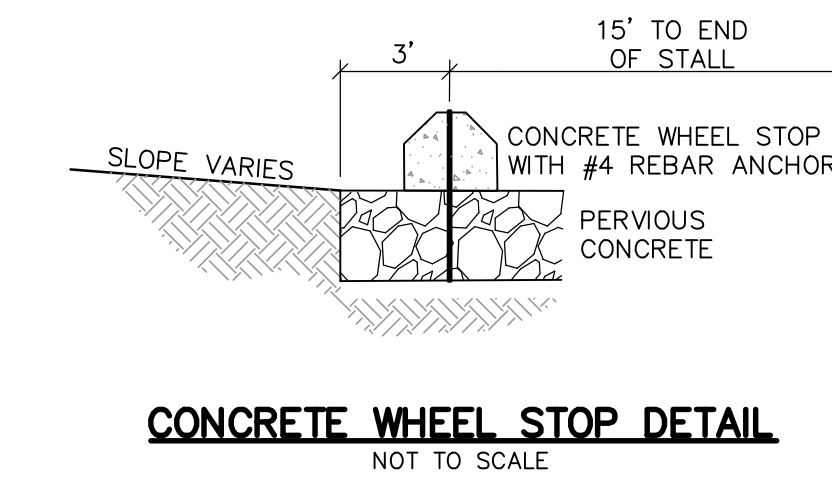
PLAN VIEW
NOT TO SCALE



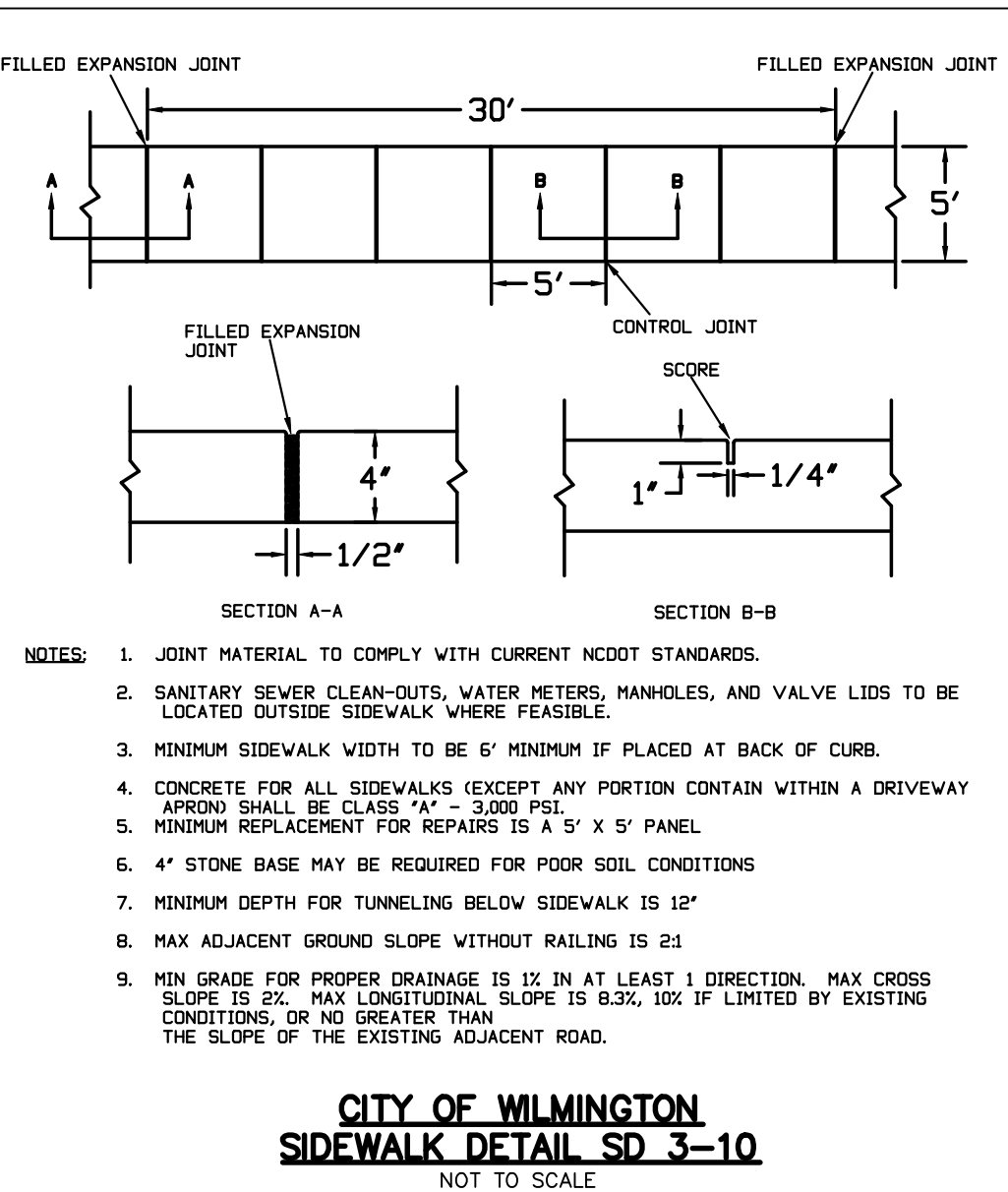
- NOTES:
1. EXPANSION JOINT MATERIAL TO COMPLY WITH CURRENT NCDOT STANDARDS
2. 50' MAX EXPANSION JOINT SPACING, 10' MAX CONTRACTION JOINT SPACING
3. MINIMUM INSTALLATION LENGTH IS 5 FT.
4. CONCRETE TO BE 3000 PSI MIN
5. VERTICAL CURB AND GUTTER BASE CAN BE SLOPED 3/4" OR USE A FLAT BASE



WHEEL STOP DETAIL
NOT TO SCALE



CONCRETE WHEEL STOP DETAIL
NOT TO SCALE

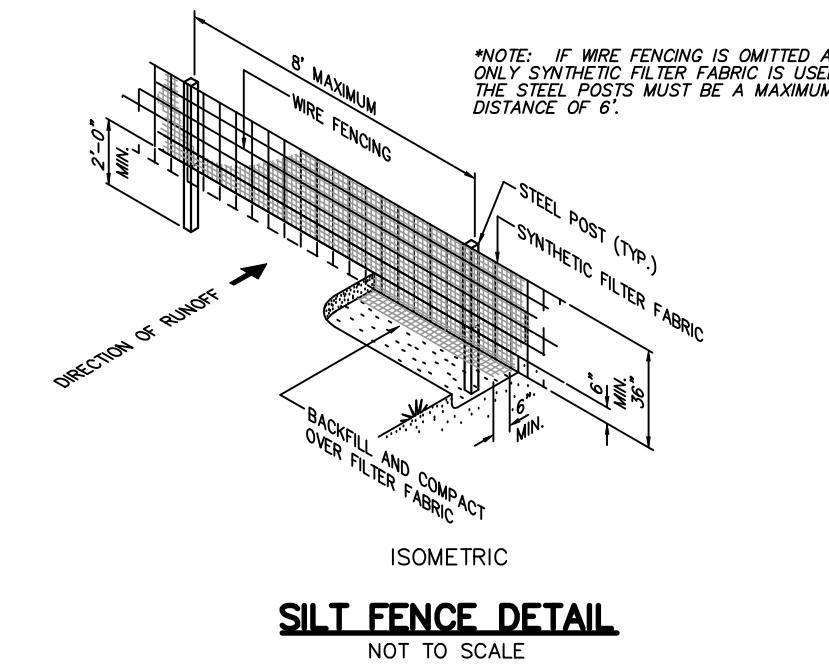


- NOTES:
1. JOINT MATERIAL TO COMPLY WITH CURRENT NCDOT STANDARDS.
2. SANITARY SEWER CLEAN-OUTS, WATER METERS, HANHOLES, AND VALVE LIDS TO BE LOCATED OUTSIDE SIDEWALK WHERE FEASIBLE.
3. MINIMUM SIDEWALK WIDTH TO BE 6' MINIMUM IF PLACED AT BACK OF CURB.
4. CONCRETE FOR ALL SIDEWALKS (EXCEPT ANY PORTION CONTAIN WITHIN A DRIVEWAY APPROX) SHALL BE CLASS 44 - 3,000 PSI.
5. MINIMUM REPLACEMENT FOR REPAIRS IS A 5' X 5' PANEL.
6. 4" STONE BASE MAY BE REQUIRED FOR POOR SOIL CONDITIONS
7. MINIMUM DEPTH FOR TUNNELING BELOW SIDEWALK IS 12"
8. MAX ADJACENT GROUND SLOPE WITHOUT RAILING IS 2:1
9. MIN GRADE FOR PROPER DRAINAGE IS 1% IN AT LEAST 1 DIRECTION. MAX CROSS SLOPE IS 2%. MAX LONGITUDINAL SLOPE IS 0.3% 10% IF LIMITED BY EXISTING CONDITIONS, OR NO GREATER THAN THE SLOPE OF THE EXISTING ADJACENT ROAD.

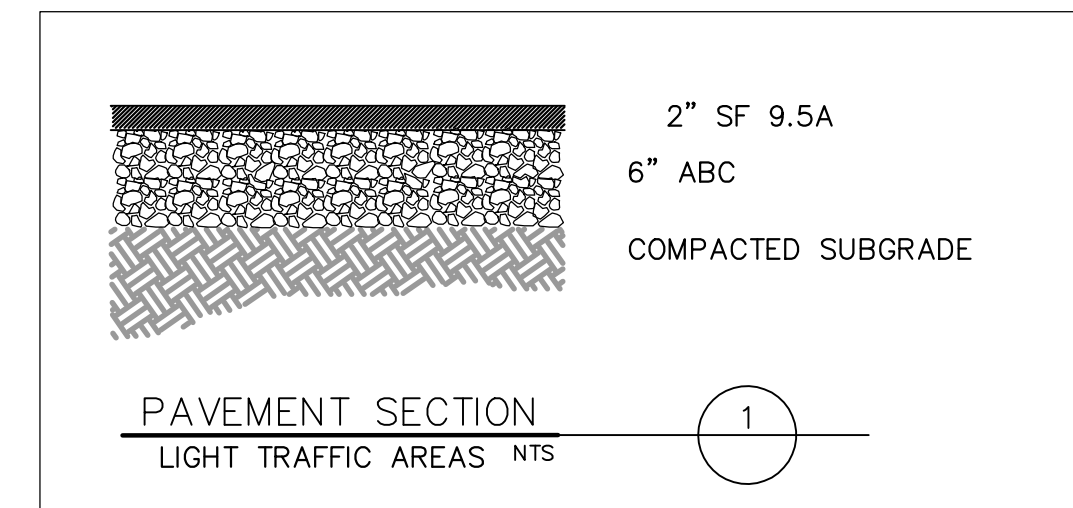
CITY OF WILMINGTON SIDEWALK DETAIL SD 3-10
NOT TO SCALE

SEDIMENT FENCE CONSTRUCTION SPECIFICATIONS:
(1) SILT FENCE IS TO BE TRENCHED IN WITH TRENCHING MACHINE IN ORDER TO HAVE THE MINIMUM AREA OF DISTURBANCE (NON-EVASIVE) UPON INSTALLATION.
(2) HEIGHT OF SEDIMENT FENCE IS NOT TO EXCEED 18" ABOVE THE GROUND SURFACE.
(3) FILTER FABRIC TO BE CONSTRUCTED FROM CONTINUOUS ROLL CUT TO LENGTH TO AVOID JOINTS. IF JOINTS ARE NECESSARY, FILTER CLOTH IS TO BE SECURELY FASTENED TO SUPPORT POST WITH OVERLAP TO THE NEXT POST.
(4) FILTER FABRIC TO BE SUPPORTED BY WIRE MESH FASTENED SECURELY TO THE UPSLOPE SIDE OF THE POSTS USING HEAVY DUTY STAPLES AT LEAST 1' LONG OR TIE WIRES. EXTEND WIRE MESH SUPPORT TO THE BOTTOM OF THE TRENCH.
(5) A MAXIMUM OF 8' STAKE SPACING IS ALLOWED WHEN WIRE MESH SUPPORT FABRIC IS USED. SUPPORT POST SHOULD BE INSTALLED SECURELY INTO THE GROUND A DISTANCE OF AT LEAST 18".
(6) EXTRA STRENGTH FILTER FABRIC WITH 6" POST SPACES DOES NOT REQUIRE WIRE MESH SUPPORT FABRIC. STAPLE OR WIRE TIE FILTER FABRIC DIRECTLY TO POSTS.
(7) EXCAVATE A TRENCH APPROXIMATELY 4" WIDE AND 8" DEEP ALONG THE PROPOSED LINE OF POSTS AND UPSLOPE FROM THE BARRIER.
(8) BACKFILL TRENCH WITH COMPACT SOIL OR GRAVEL PLACED OVER THE FILTER FABRIC.
(9) DO NOT ATTACH FILTER FABRIC TO EXISTING TREES.

SEDIMENT FENCE MAINTENANCE:
(1) INSPECT SEDIMENT FENCES AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL. MAKE ANY REQUIRED REPAIRS IMMEDIATELY.
(2) SHOULD THE FABRIC OF A SEDIMENT FENCE COLLAPSE, TEAR, DECOMPOSE OR BECOME INEFFECTIVE, REPLACE IT PROMPTLY. REPLACE BURLAP EVERY 60 DAYS.
(3) REMOVE SEDIMENT DEPOSITS AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN AND TO REDUCE PRESSURE ON THE FENCE. TAKE CARE TO AVOID UNDERMINING THE FENCE DURING CLEANOUT.
(4) REMOVE ALL FENCING MATERIALS AND UNSTABLE SEDIMENT DEPOSITS AND BRING THE AREA TO GRADE AND STABILIZE IT AFTER THE CONTRIBUTING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.



SILT FENCE DETAIL
NOT TO SCALE



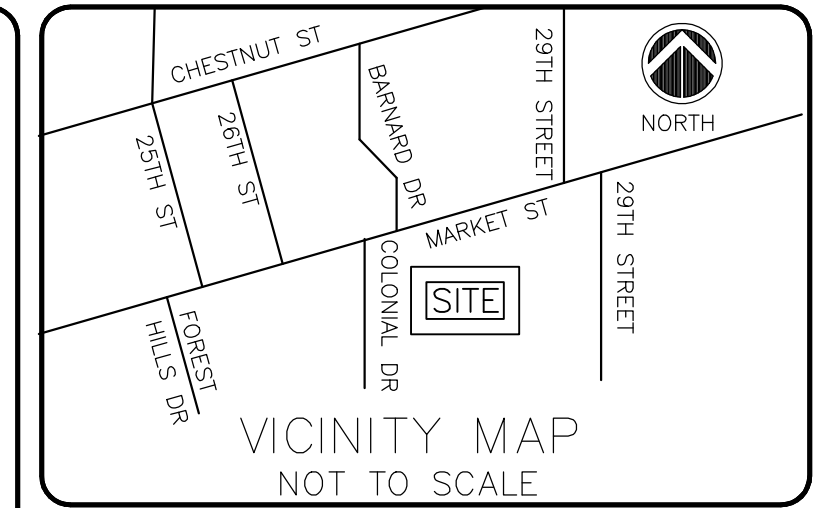
PAVEMENT SECTION
LIGHT TRAFFIC AREAS NTS

FINAL PAVEMENT DESIGN MAY VARY WITH FIELD CONDITIONS.

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

CITY OF WILMINGTON
Public Services Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN
Date: _____ Permit # _____
Signed: _____

CITY OF WILMINGTON
Approved Construction Plan
Name _____ Date _____
Planning _____
Traffic _____
Fire _____



LEGEND:

REV. #	DESCRIPTION	REV. BY DATE
	REVISIONS	

OWNER:
Y.M.C.A. OF WILMINGTON
2710 MARKET STREET
WILMINGTON, NC 28402

Coastal Land Design, PLLC
Civil Engineering / Landscape Architecture
Land Planning / Construction Management
NCBELS Firm License No: P-0369
P.O. Box 1172
Wilmington, NC 28402 www.cldg.com Phone: 910-254-0533 Fax: 910-254-0502

CITY OF WILMINGTON PAVEMENT MARKING DETAIL SD 11-01
NOT TO SCALE

ISSUED FOR AGENCY REVIEW ONLY

NOT RELEASED FOR CONSTRUCTION

BEFORE YOU DIG, CALL
North Carolina 811
www.nc811.org

YMCA MARKET STREET

DETAILS

JOB NUMBER: 130-00
SHEET NUMBER: DET-1

- NOTES:**
- A STABILIZED ENTRANCE PAD OF # 4 STONE SHALL BE LOCATED WHERE TRAFFIC WILL ENTER OR LEAVE THE CONSTRUCTION SITE ONTO A PUBLIC STREET.
 - FILTER FABRIC OR COMPACTED CRUSHER RUN STONE MAY BE USED AS A BASE FOR THE CONSTRUCTION ENTRANCE.
 - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC STREETS OR EXISTING PAVEMENT. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS WARRANT AND REPAIR OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
 - ANY SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC STREETS MUST BE REMOVED IMMEDIATELY.
 - WHEN APPROPRIATE, WHEELS MUST BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTERING A PUBLIC STREET. WHEN WASHING IS REQUIRED, IT SHALL BE DONE IN AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT BASIN.
 - SOIL STABILIZATION FABRIC SHALL BE USED.
 - NCDOT MAY REQUIRE A STANDARD COMMERCIAL DRIVEWAY TO ACCESS THE CONSTRUCTION SITE IF THE DRIVEWAY IS ON A THOROUGHFARE.

- PAVEMENT MARKINGS AND SYMBOLS SHALL BE DESIGNED PER MUTCD WITH APPROVAL FROM CITY TRAFFIC ENGINEERING, AND INSTALLED IN ACCORDANCE WITH NCDOT DIVISION 12 SPECIFICATIONS.
- GENERALLY, PERMANENT MARKINGS WILL BE UNIFORM AND SMOOTH AND WILL CONSIST OF 1/2" MINIMUM OF THERMOPLASTIC FOR ALL LINES AND SYMBOLS; TEMPORARY MARKINGS SHALL CONSIST OF 15 MIL PAINT, EVERY 6 MONTHS.
- DURING APPLICATION THE EXISTING PAVEMENT SHALL NOT SHOW SIGNS OF MOISTURE AND BE CLEAN, FREE OF DIRT AND OIL, ETC. THERMOPLASTIC SHALL ONLY BE INSTALLED WHERE PAVEMENT IS 50° F AND RISING PAINT SHALL ONLY BE INSTALLED WHERE PAVEMENT IS 40° F AND RISING.



PARKING STALL
WHITE

CONSTRUCTION ENTRANCE DETAIL
NOT TO SCALE



BOWMAN
MURRAY
HEMINGWAY

ARCHITECTS

514 Market Street
Wilmington, NC 28401
Tel - (910) 762-2631
Fax - (910) 762-8506



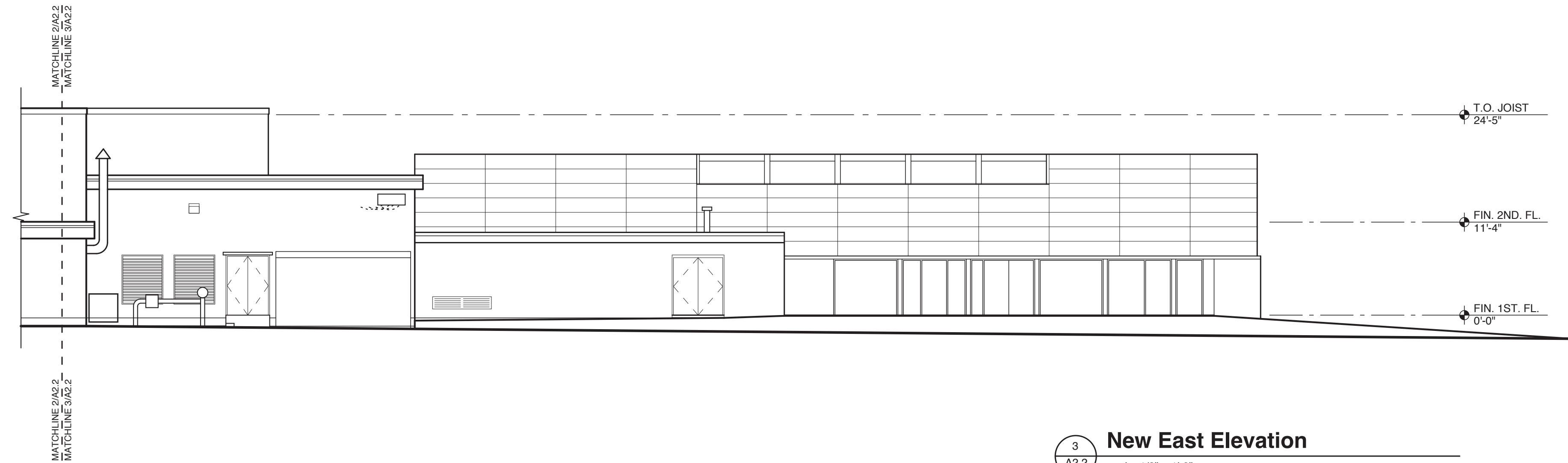
Renovations and Additions to:
The Wilmington Family YMCA
2710 Market St.
Wilmington, North Carolina 28403

New
Elevations

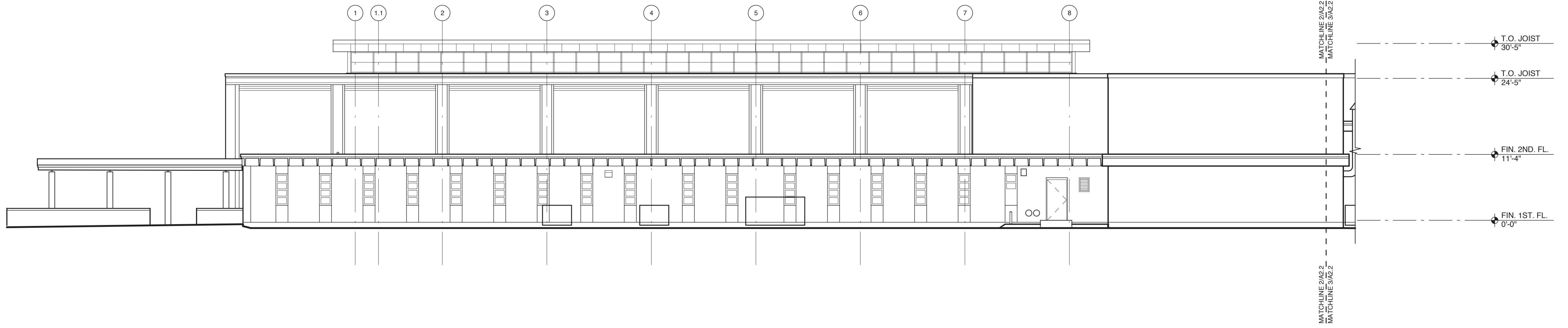
JOB NUMBER
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AW
CHECKED BY
CH
DATE
11.21.2016
REVISIONS

SHEET NUMBER

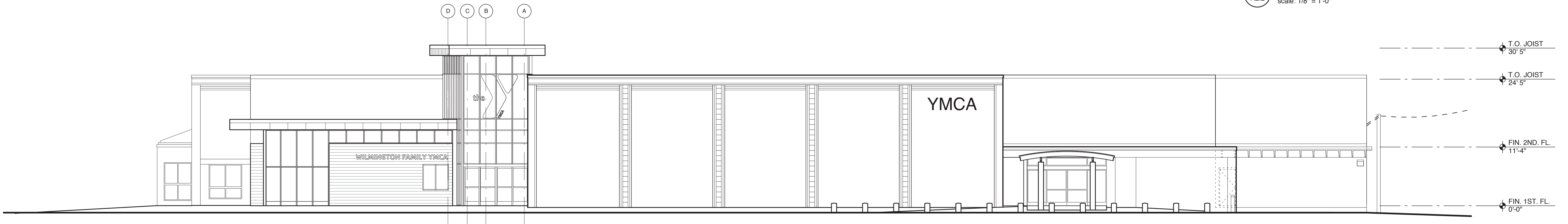
A2.2



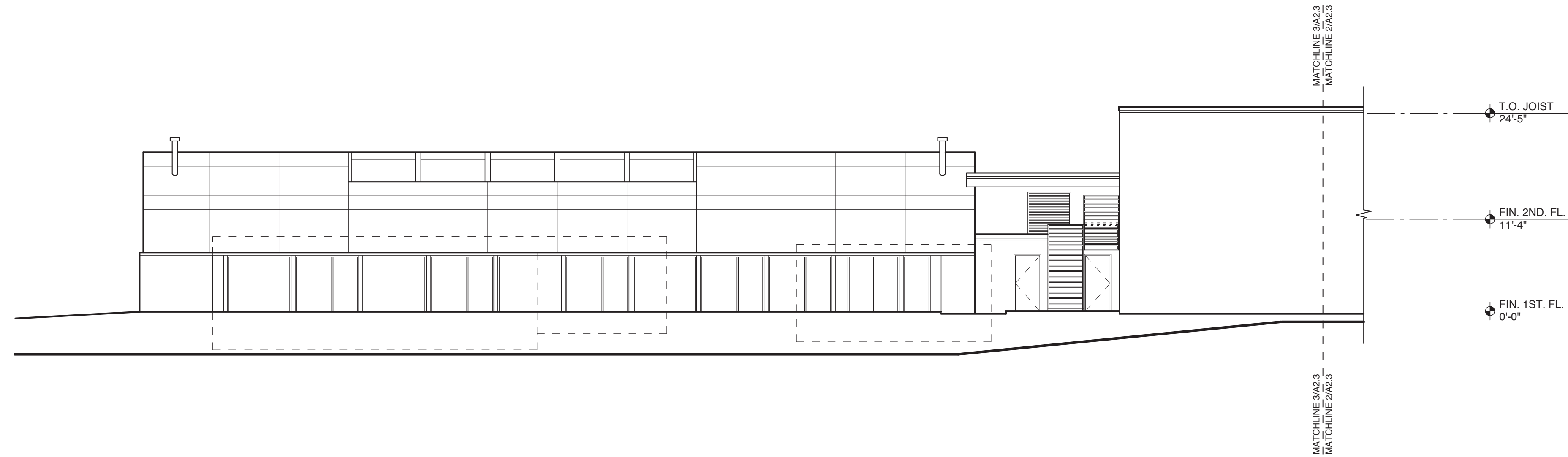
3
A2.2 **New East Elevation**
scale: 1/8" = 1'-0"



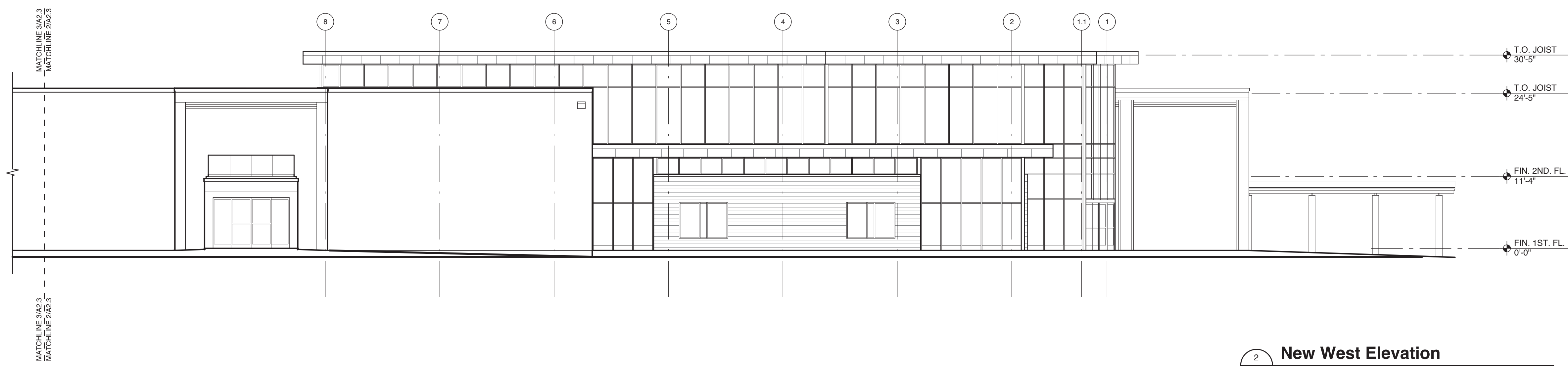
2
A2.2 **New East Elevation**
scale: 1/8" = 1'-0"



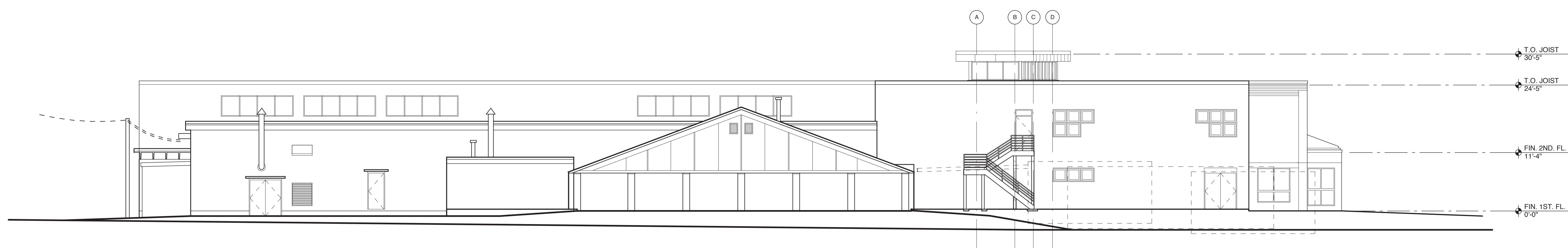
1
A2.2 **New North Elevation**
scale: 1/8" = 1'-0"



3
A2.3 **New West Elevation**
scale: 1/8" = 1'-0"



2
A2.3 **New West Elevation**
scale: 1/8" = 1'-0"



1
A2.3 **New South Elevation**
scale: 1/8" = 1'-0"

Renovations and Additions to:
The Wilmington Family YMCA
2710 Market St.
Wilmington, North Carolina 28403

**New
Elevations**

JOB NUMBER	
DRAWN BY	AW
CHECKED BY	CH
DATE	11.21.2016
REVISIONS	

SHEET NUMBER

A2.3